

ZONING CHART

ZONING DISTRICTS REGULATION TABLE CAMBRIDGE, MASSACHUSETTS.

134 OXFORD LOT AREA 2,160 SQ. FT
136 OXFORD LOT AREA 2,816 SQ. FT
TOTAL LOT AREA 4,949 SQ.FT

EXISTING

RESIDENTIAL UNITS	(6) EACH	UNIT AREA	
LOWER FLOOR AREA	851 SF APPROX.	TOTAL	1,702 SF
FIRST FLOOR AREA	851 SF APPROX.	TOTAL	1,702 SF
SECOND FLOOR AREA	851 SF APPROX.	TOTAL	1,702 SF
THIRD FLOOR AREA	851 SF APPROX.	TOTAL	1,702 SF

NOT SPRINKLERS

CODE SUMMARY

MULTIFAMILY DWELLINGS

EXISTING 3 STORIES AND BASEMENT
BUILDING TYPE: R3

CONSTRUCTION TYPE: 5B

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT. ALL WORK SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS. WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONBE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL WARRANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOMORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM: FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM: AND NOT MORE THAN 8'-0" O.C.
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TOJOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALCORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOPLATE TO FLOOR PLATE AT 45°, SIMPSON TYPE "CWB", OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" DIAMETER BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI.

ZONING SOMERVILLE MA R-A

AREA IN SOMERVILLE = 2,160 SQ. FT

ZONING CAMBRIDGE MA C-1

AREA IN CAMBRIDGE = 2,117 SQ.FT

PROPOSED

RESIDENTIAL UNITS (6)

ADD SPRINKLER SYSTEMS

NOTES

1. THE BASIC WIND SPEEDS FOR CAMBRIDGE / SOMERVILLE, MA IS 105 MPH

2. THE GROUND SNOW LOAD FOR CAMBRIDGE / SOMERVILLE, MA IS 45 PSF

CMR MASSACHUSETTS STATE BUILDING CODE 9TH EDITION

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows;

Or as noted on drawings.

Span of opening: Size: 2x6 studs Size: 2x4 studs

Less than 4'-0" 3 - 2x4 2 - 2x4

Up to 6'-0" 3 - 2x6 2 - 2x6

Up to 8'-0" 3 - 2x8 2 - 2x8

Up to 10'-0" 3 - 2x10 2 - 2x10

DESIGN LOADS:

FLOORS - 40 P/S.F. (LIVE LOAD)

ROOF - 50 P/S.F.

DECK - 60 P/S.F.

DEMOLITION NOTES

0. REFER TO GENERAL NOTES, DWG. T1.0 FOR ADDITIONAL COMMENTS REGARDING DEMOLITION AND REMOVALS.
1. REMOVE EXISTING WALL TO EXTENT REQUIRED FOR NEW WORK.
2. REMOVE EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO: CARPET CERAMIC TILE, RESILIENT FLOORING, BASE AND WALL COVERINGS WHERE INDICATED AND AS REQUIRED. PREPARE SURFACES TO RECEIVE NEW FINISHES.
3. REMOVE EXISTING CEILING, INCLUDING SUSPENSION SYSTEM WHERE INDICATED AND AS REQUIRED. PREPARE SURFACES TO RECIEVE NEW FINISHES.
4. REMOVE EXISTING PARTITIONS AND ALL APPURTINANCES INCLUDING, BUT NOT LIMITED TO: DOORS, FRAMES, STANDING AND RUNNING TRIM, EQUIPMENT, ACCESSORIES AND CASEWORK. PATCH FLOOR, WALLS AND CEILINGS AS REQUIRED TO RECIEVE NEW FINISHES.
5. REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE.
6. REMOVE EXISTING DOOR FRAME AND ASSOCIATED HARDWARE.
7. REWORK EXISTING PLUMBING FITTINGS, REFER TO PLUMBING DRAWINGS FOR WORK REQUIRED.
8. REMOVE/REWORK EXISTING SPRINKLER PIPING AND HEADS AS REQUIRED TO ACCOMODATE NEW LAYOUT.
9. REMOVE EXISTING LIGHTING AND ASSOCIATED WIRING BACK TO PANEL AS REQUIRED FOR NEW LAYOUT.
10. REMOVE EXISTING RUNNING TRACK INCLUDING CONCRETE UNDERLAYMENT AND RAMP. CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO THE ORIGINAL SLAB. UNDER NO CIRCUMSTANCES SHOULD THE ORIGINAL SLAB BE CUT OR OTHERWISE PENETRATED.
11. REMOVE LOCKERS AND RELATED APPURTINANCES INCLUDING BUT NOT LIMITED TO BASE AND SPACERS.
12. REMOVE LOCKERS AND RELATED APPURTINANCES INCLUDING BUT NOT LIMITED TO LOCKER BASE AND SPACERS. STORE FOR FUTURE RELOCATION.
13. REMOVE TOPPING SLAB TO EXTENT REQUIRED FOR NEW PLUMBING. CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO THE ORIGINAL SLAB. UNDER NO CIRCUMSTANCES SHOULD THE ORIGINAL SLAB BE CUT OR OTHERWISE PENETRATED.
14. REMOVE RUBBER MATS. STORE FOR FUTURE USE.
15. REMOVE RECEPTION DESK, RELATED CASEWORK AND HARDWARE. PATCH FLOOR AS REQUIRED TO RECIEVE NEW FINISHES.

134-136 OXFORD STREET



Front Elevation (Oxford St View)
12" = 1'-0"

KEY SYMBOLS

	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR
	EMERGENCY LIGHT
	FIRE EXTINGUISHER
	FIRE ALARM CONTROL PANEL
	EMERGENCY EXIT
	PULL STATION (HORN, STROBE, LIGHT)
	VENT
	WINDOW TYPE
	SOLID POST 5"X5"
	STEEL COLUMN 5"X5"
	1 HOUR WALL(SEE W.T.1/A-3.1)
	2 HOUR WALL (2"X6" TYP. WOOD STUD)
	NEW INTERIOR WALL 2" x 6" (TYPICAL STUDS)
	EXISTING WALL
	EXISTING MASONRY WALL
	WALL TO DEMOLISHED

RESIDENTIAL REMODEL

Owner: OXFORD REAL ESTATE GROUP

134-136 OXFORD STREET
CAMBRIDGE / SOMERVILLE, 02143
MA

Consultant: Arthur Choo Sr (Structural Engineer)
Address
Address
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Designer

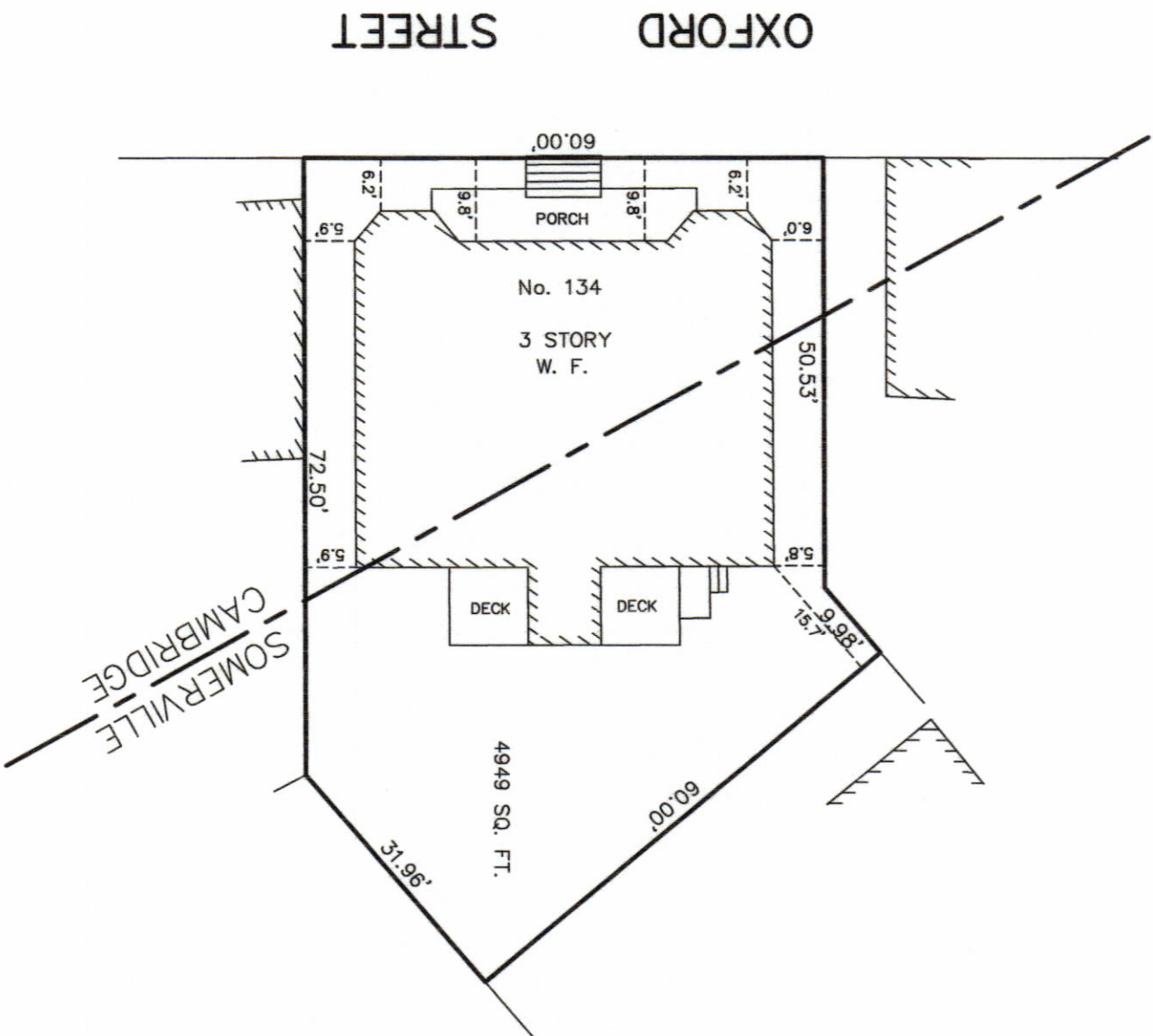
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375 High st # 2 Medford, MA 02155
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General Notes

Project number	Project Number
Date	10-10-2018
Drawn by	ANZZA DESIGN
Checked by	Arthur Choo Sr.
A100	
Scale	As indicated



AREA IN SOMERVILLE=2832 SQ. FT.
AREA IN CAMBRIDGE=2117 SQ. FT.



OXFORD STREET

SOMERVILLE
CAMBRIDGE



Antoni Szerszunowicz

PLOT PLAN

134 OXFORD STREET

CAMBRIDGE / SOMERVILLE, MASS.

SCALE : 1" = 20'

AUGUST 24, 2018

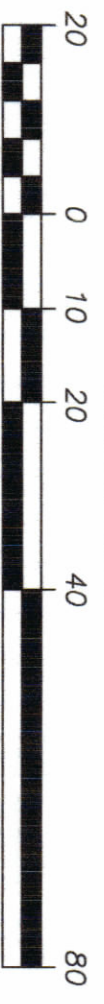
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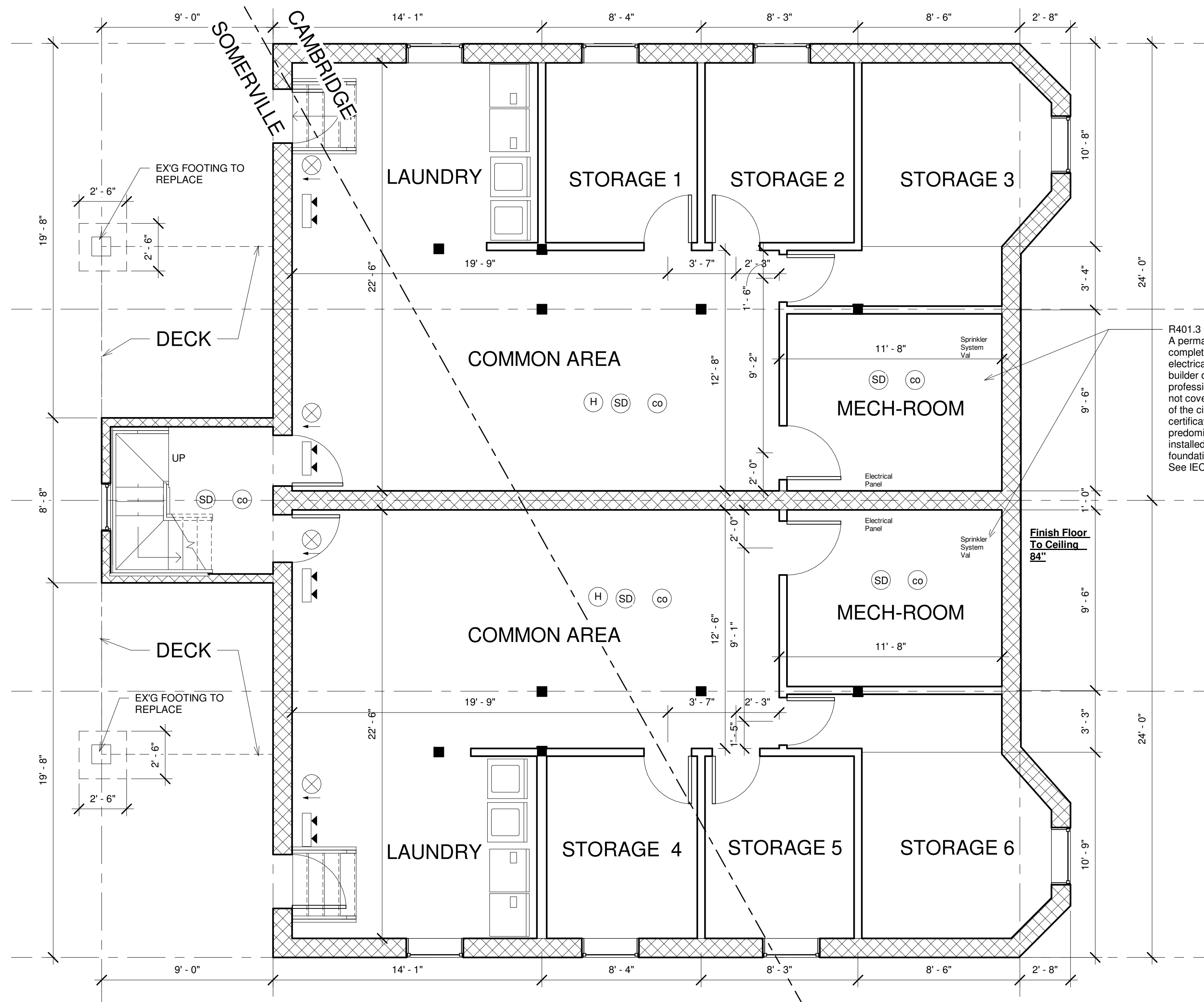
166 WATER STREET

STOUGHTON, MA 02072

PHONE: (781)344-2386

GRAPHIC SCALE





R401.3 Certificate (Mandatory)
A permanent certificate shall be completed and posted on or in the electrical distribution panel by the builder or registered design professional. The certificate shall not cover or obstruct the visibility of the circuit directory label. The certificate shall list the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation and floor and (SHGC) See IECC section R401.3

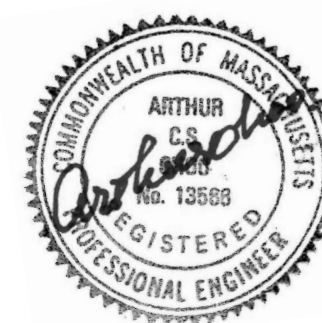
Finish Floor
To Ceiling
84"

1 Lower Floor Plan
1/4" = 1'-0"

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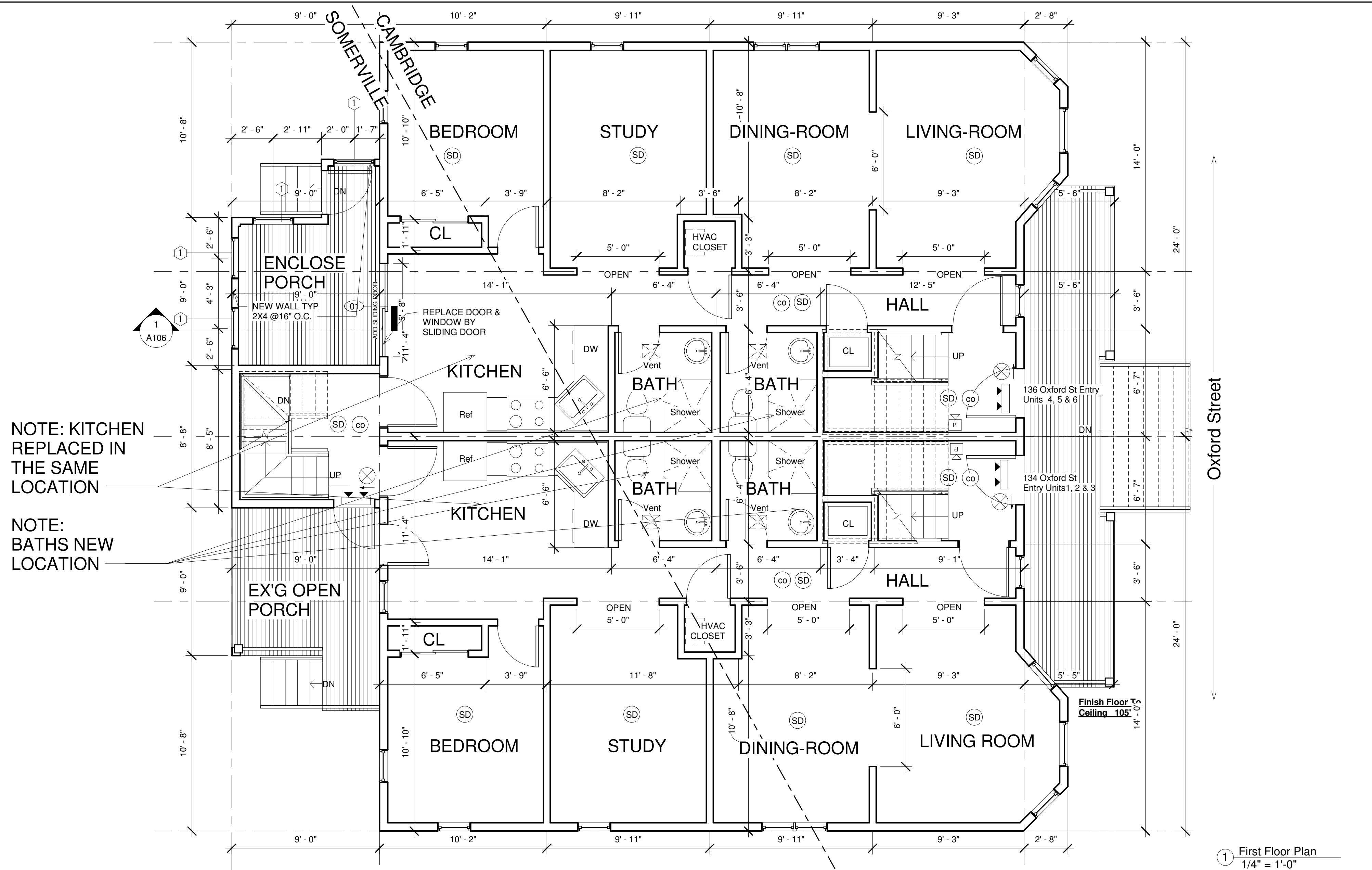
Designer

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Proposed Lower Floor Plan

Project number	Project Number
Date	10-10-2018
Drawn by	ANZZA DESIGN
Checked by	Arthur Choo Sr.
A101	
Scale	1/4" = 1'-0"

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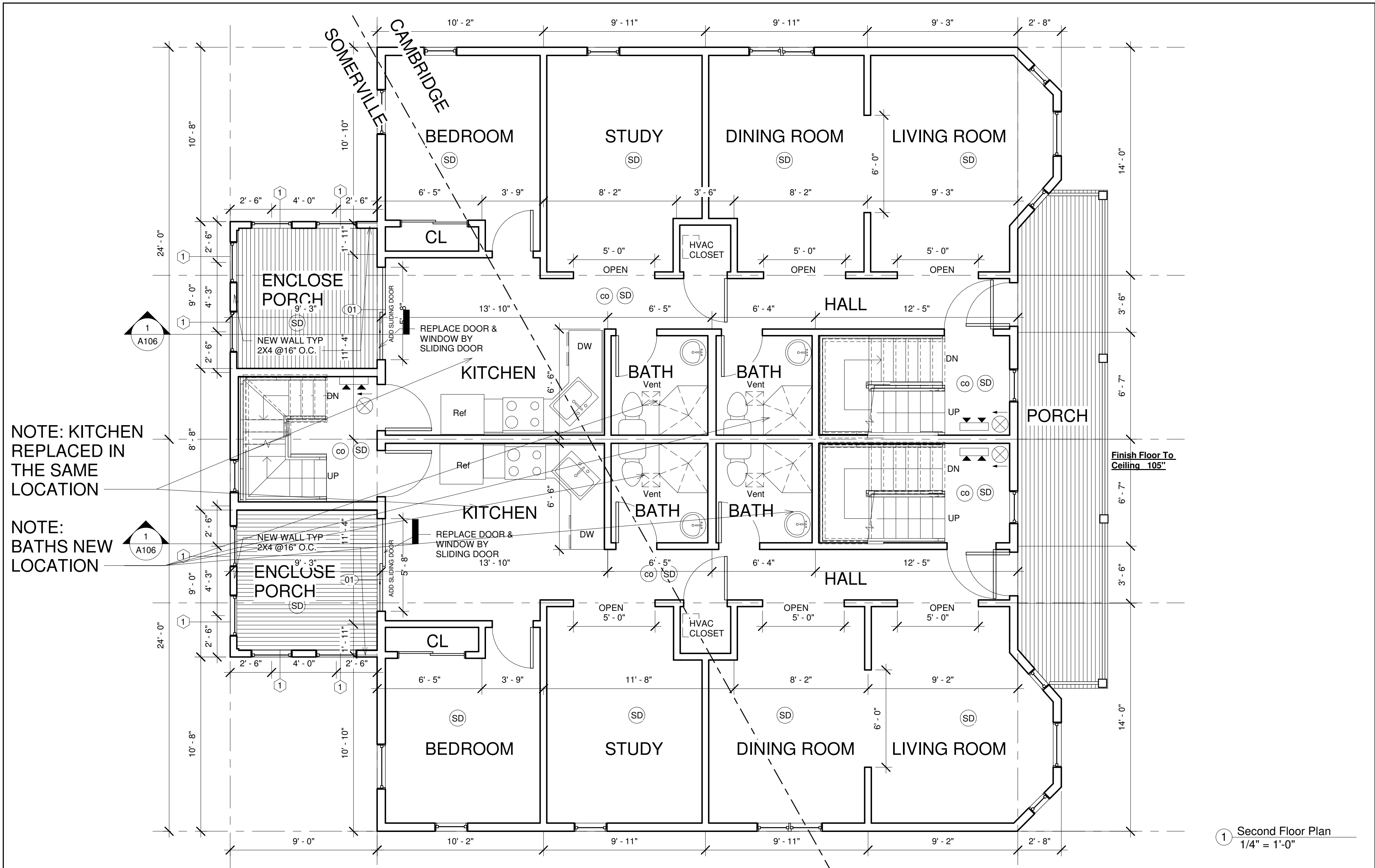
Consultant: Arthur Choo Sr (Structural Engineer)
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Proposed First Floor Plan

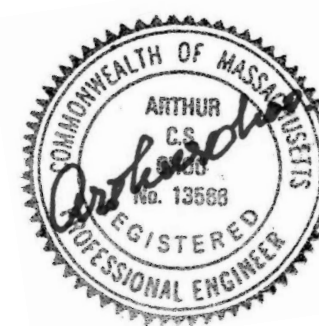
Project number	Project Number
Date	10-10-2018
Drawn by	Anzza Design
Checked by	Arthur Choo Sr.
A102	
Scale	1/4" = 1'-0"



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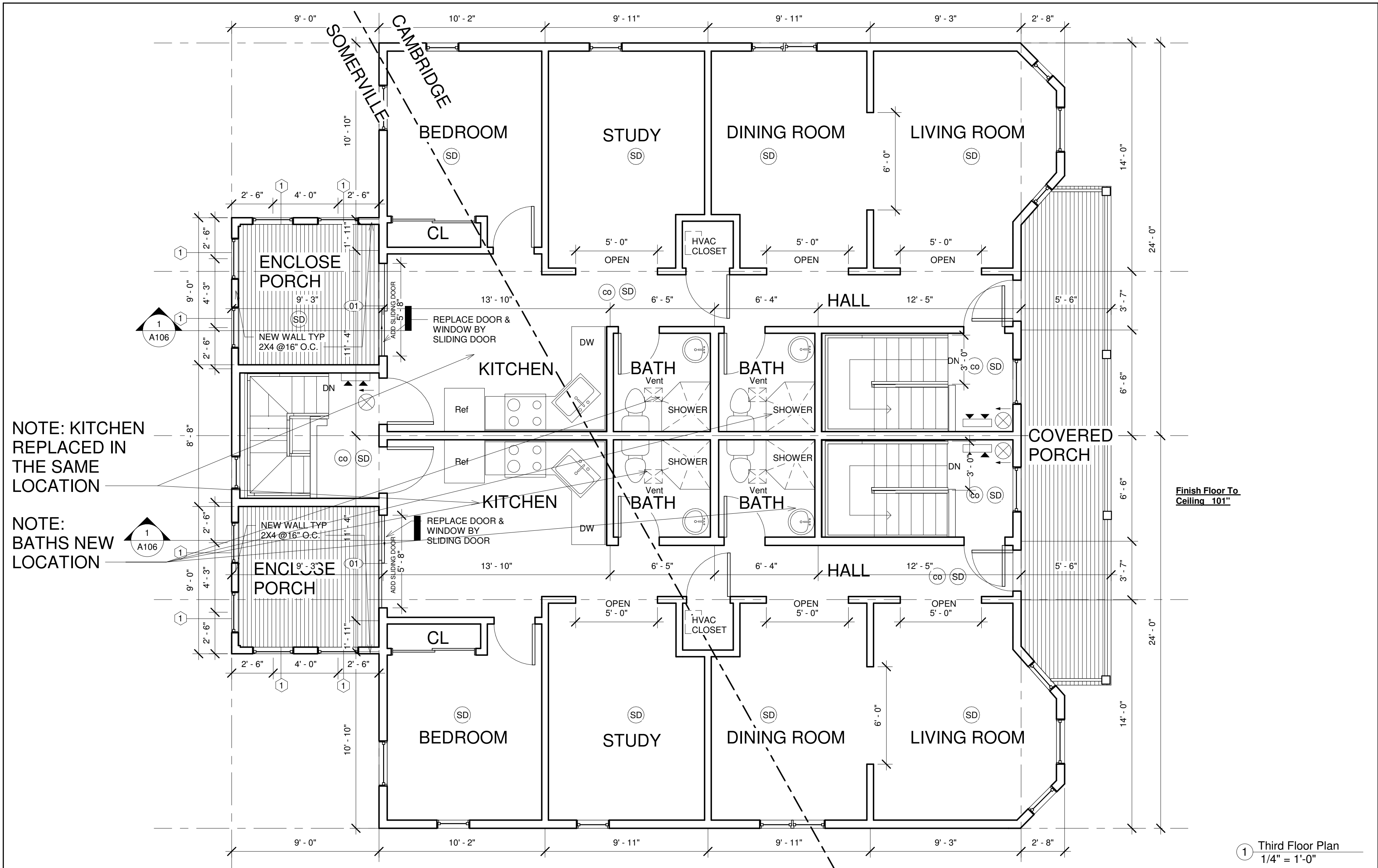


Designer

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Proposed Second Floor Plan

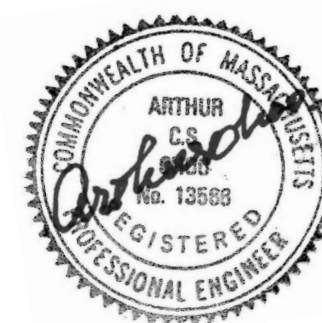
Project number	Project Number
Date	10-10-2018
Drawn by	ANZZA DESIGN
Checked by	Arthur Choo Sr.
A103	
Scale	1/4" = 1'-0"



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Designer

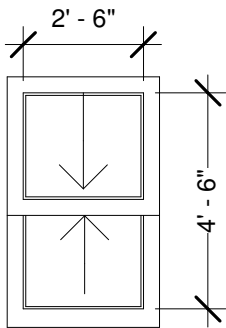
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Proposed Third Floor

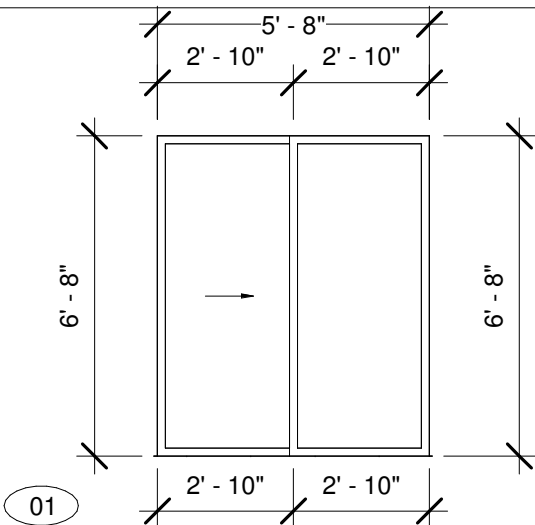
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Date	10-10-2018
Drawn by	Anzza Design
Checked by	Arthur Choo Sr.
A104	
Scale	1/4" = 1'-0"

WINDOW SCHEDULE					
MARK	MODEL	WINDOW SIZE	GLASS	REMARKS	LOCATED
1	TILT-W DOUBLE-HUNG	2'- 6" X 4'- 6"	TEMPERED	BASED ON ULTIMATE WINDOWS	ENCLOSE PORCH (REAR)
Total					20

RECHECK WINDOWS					
MARK	MODEL	WINDOW SIZE	GLASS	REMARKS	LOCATED
1	TILT-W DOUBLE-HUNG	2'- 6" X 4'- 6"	TEMPERED	BASED ON ULTIMATE WINDOWS	ENCLOSE PORCH (REAR)
Total					20



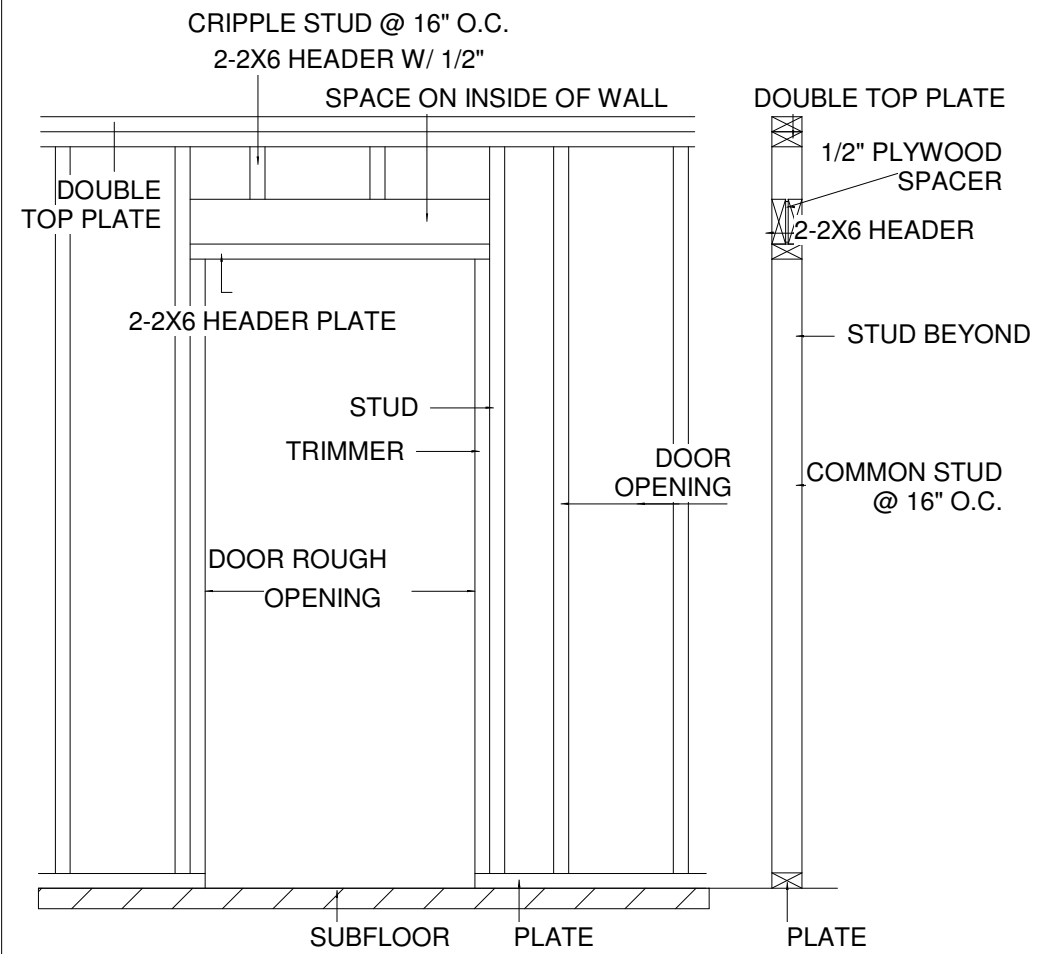
1 Window Schedule
1/4" = 1'-0"



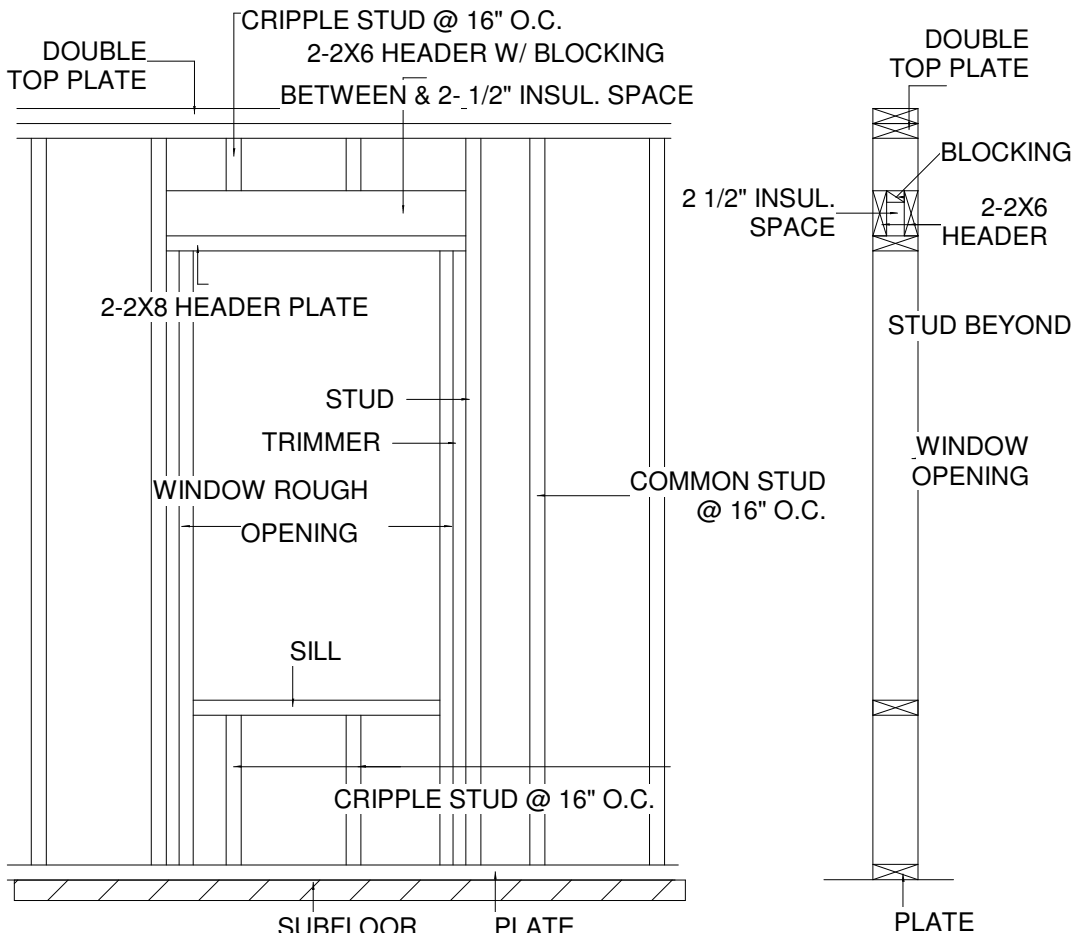
3 Door Schedule
1/4" = 1'-0"

DOOR SCHEDULE					
MARK	MODEL	DOOR SIZE	GLASS	REMARKS	LOCATED
01	400 SERIES SLIDING DOOR	5'- 8" X 6'- 8"	TEMPERED	BASED ON ANDERSEN DOOR	ENCLOSE PORCH (REAR)
Total					5

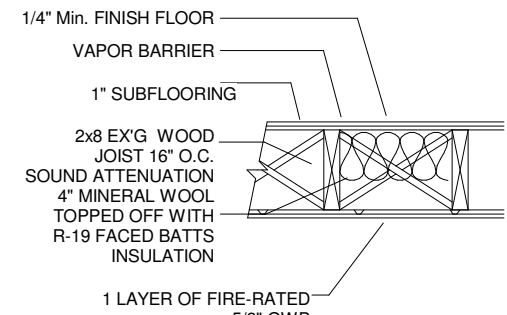
DOOR SCHEDULE					
MARK	MODEL	DOOR SIZE	GLASS	REMARKS	LOCATED
01	400 SERIES SLIDING DOOR	5'- 8" X 6'- 8"	TEMPERED	BASED ON ANDERSEN DOOR	ENCLOSE PORCH (REAR)
Total					5



4 Door & Window Framing Detail
1/4" = 1'-0"



FLOOR/CEILING TYPES (C.T.)



1 1 HOUR CLG TYPE UL Des L516
SCALE: 1"=1'-0"

2 DETAIL TO ALL FLOORS & CEILING
RAITNG
6" = 1'-0"

DEFAULT GLAZED FENESTRATION U-FACTOR
ENERGY PERFORMANCE RATINGS
U-FACTOR (U.S./I-P) **0.32 MIN.**
SOLAR HEAT GAIN COEFFICIENT **0.25 MIN.**
VISIBLE TRANSMITTANCE **0.41 MIN.**
AIR LEAKAGE (U.S./I-P) **0.3 MIN.**
ALL WINDOWS MOST BE **NFRC** LABEL FOR U-FACTOR

1 Hour Fire-Rated Construction Detail

Description
- 5/8" Sheetrock Fire C Code
Gypsum panels, ceiling.
- 1 1/4" Nominal wood sub and finished floor.
- 4" Mineral wool R-19
- 2x8 Ex'g wood joist 16" O.C.
- RC-1 channel or equivalent.
- Joints finished.
Test Number
UL Des L516
Acoustical Performance
STC 50 to 54 Sound
IIC 66
CK-6412-9
Based on 5/8" Sheetrock Firecode Core Gypsum Panels

Notes by:
IECC R402.4.4 Recessed Lighting.
Recessed luminaries installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recesses luminaries shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E 283 at a 1.57psf (75 Pa) pressure differential. All recessed luminaries shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

CODE ENERGY

BASEMENT EXTERIOR WALL 2X6 WALL BEHIND FOUNDATION WALL 3" CLOSE CELL R- VALUE 19
BASEMENT INTERIOR WALL 2X4 WALL 3" CLOSE CELL R- VALUE 19
1ST FLOOR EXTERIOR WALL 2X4 WALL 3" CLOSE CELL R- VALUE 21
1ST FLOOR COMMON AREA WALL 2X4 WALL 3" MINERAL WOOL
1ST FLOOR 2X8 CEILING 4" MINERAL WOOL TOPPED OFF WITH R- VALUE 19 FACED BATTS
2ND FLOOR EXTERIOR WALL 2X4 WALL 3" CLOSE CELL R-VALUE 21
2ND FLOOR 2X12 ROOF RAFTERS 12" OPEN CELL R- VALUE 48
2ND FLOOR COMMON AREA 2X4 WALLS 3" MINERAL WOOL
2ND FLOOR 2X8 CEILING 4" MINERAL WOOL TOPPED OFF WITH R- VALUE 19 FACED BATTS
3RD FLOOR EXTERIOR WALL 2X4 WALL 3" CLOSE CELL R-VALUE 21
3RD FLOOR 2X8 FLAT ROOF 12" MINERAL OPEN CELL R- VALUE 48
2ND FLOOR COMMON AREA 2X4 WALLS 3" MINERAL WOOL

BASIC WIND SPEED TO CAMBRIDGE, MA 100 MPH

CLIMATE ZONES FOR MASSACHUSETTS

BY IECC 2012

5A

TABLE R 402 1.3 IECC 2014 EQUIVALENT U-FACTORS

TABLE R 402 1. IECC 2014 INSULATION AND FENESTRATION BY COMPONENT

CLIMATE ZONE	FENESTRATION U-F	SKYLIGHT U-FACTOR	CEILING R-FACTOR	FRAME WALL U-FAC	MASS WALL U-FAC	FLOOR U-FAC	BASEMENT U-FACTOR	CRAWL SPACE W U-FACTOR
5 A	0.32	0.55	0.026	0.057	0.082	0.033	0.050	0.055
CLIMATE ZONE	FENESTRATION U-F	GLAZED FENESTRATION	CEILING R-V	WOOD FM WALL R-V	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-V	SLAB R-V
5 A	0.32	NR	49	20 OR 13+5	13/17	30	15/19	10.2 FT

STRETCH ENERGY CALCULATION
1/4" = 1'-0"

RESIDENTIAL REMODEL

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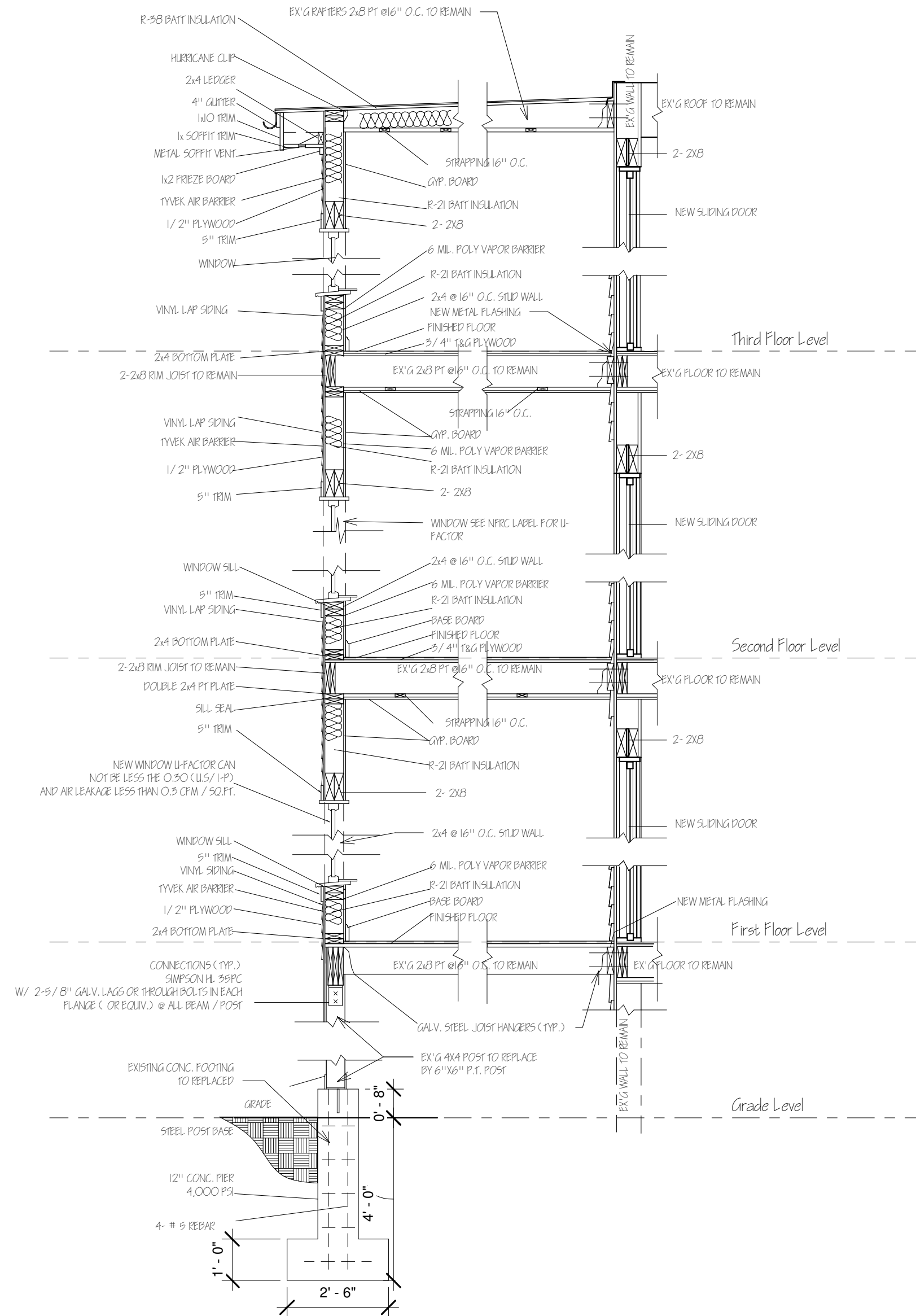


Designer

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Window Schedule and Ceiling Rating Detail

Project number	Project Number
Date	10-10-2018
Drawn by	Anzza Design
Checked by	Arthur Choo Sr.
A105	
Scale	As indicated



① ENCLOSED PORCH WALL SECTION
3/8" = 1'-0"

PROPOSE
ENCLOSED
PORCH



EXISTING REAR PORCH

RESIDENTIAL REMODEL

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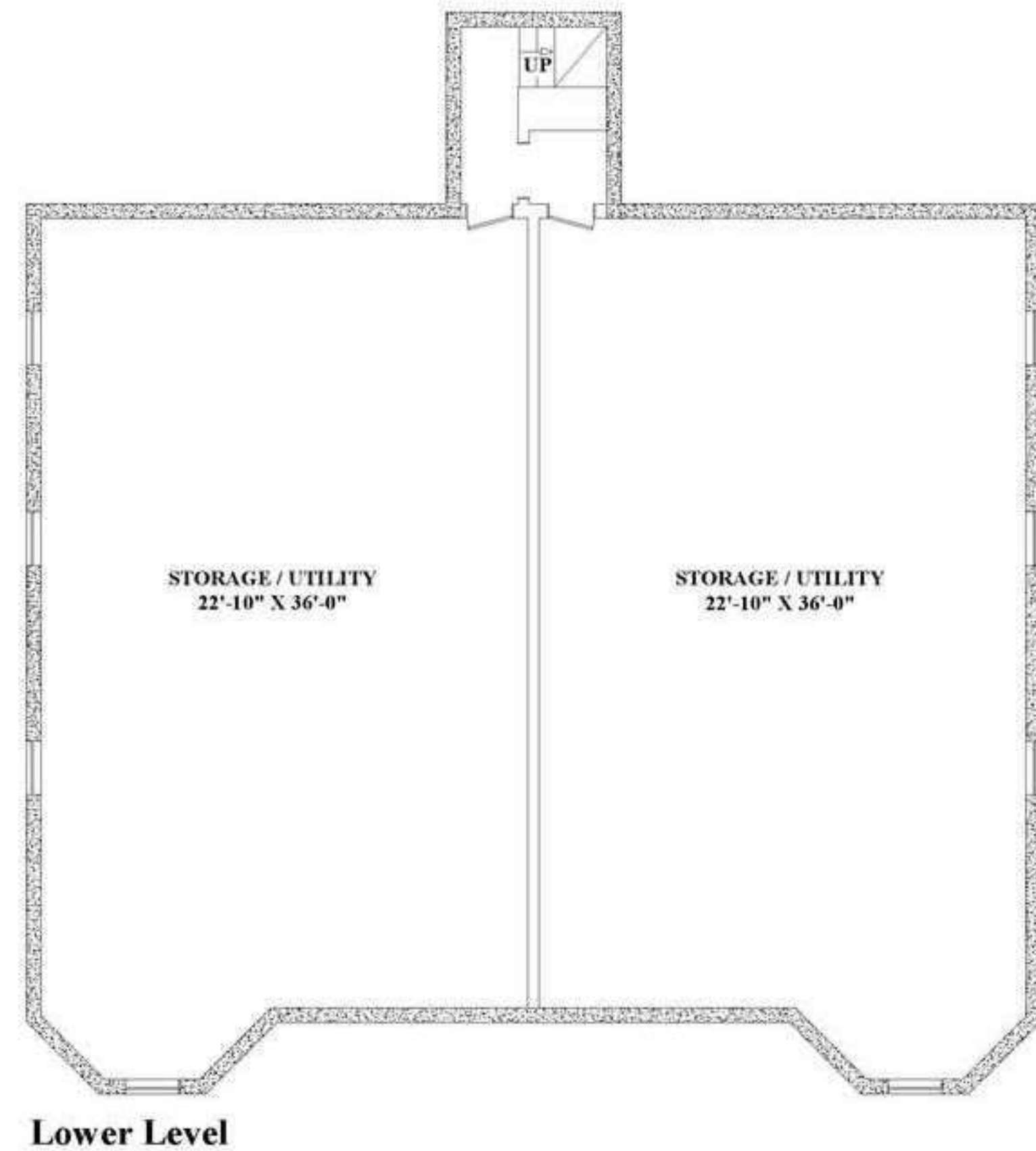
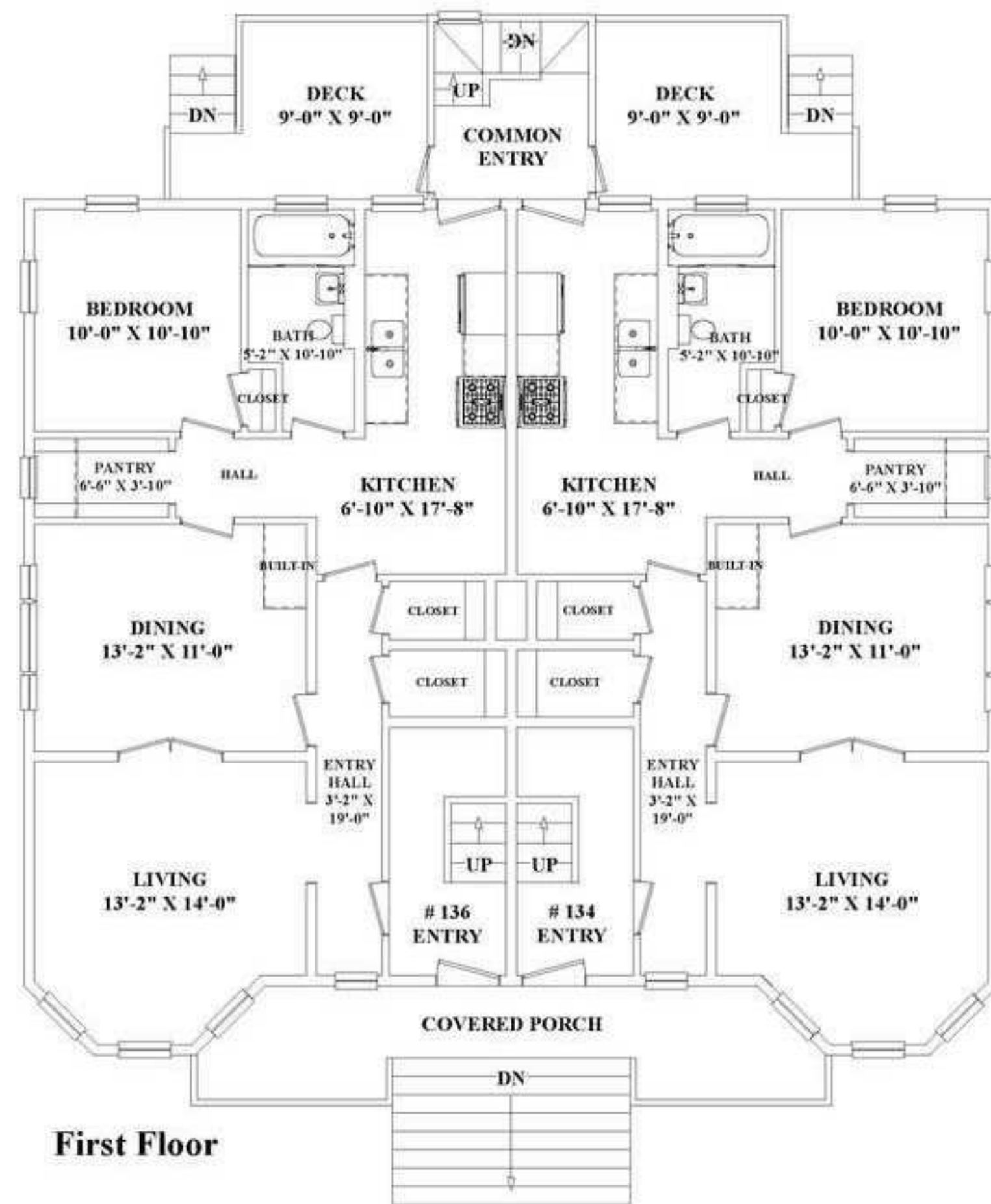
Designer

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PORCH WALL SECTION ELEVATION DETAIL

Project number	Project Number
Date	10-10-2018
Drawn by	Antinea Noguera
Checked by	Arthur Choo Sr.
A106	
Scale	3/8" = 1'-0"

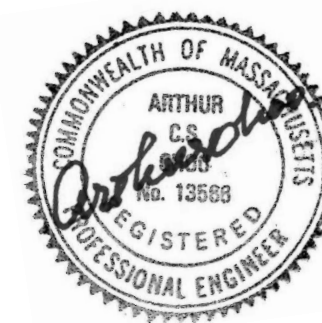
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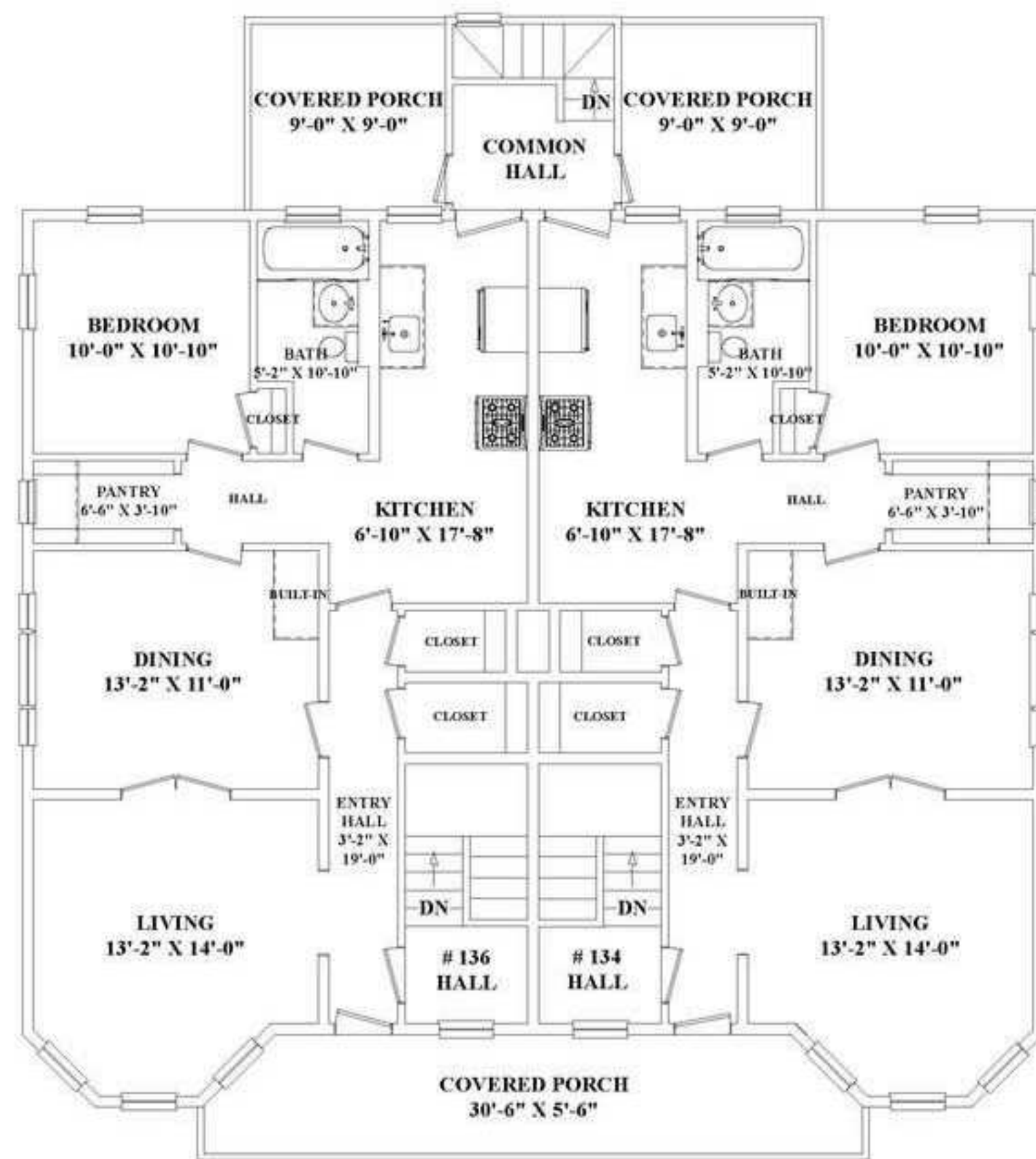
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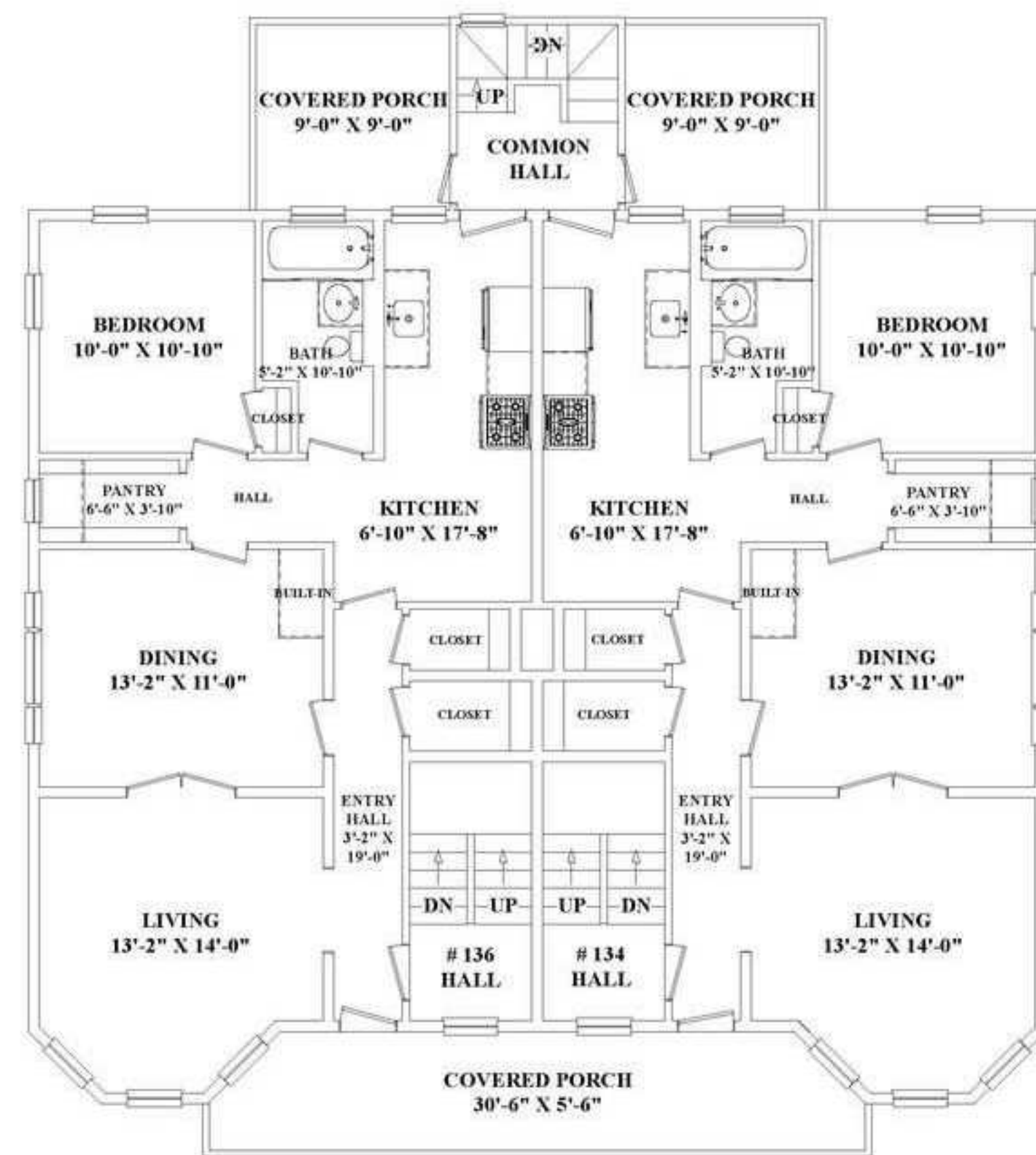
EXISTING LOWER & FIRST FLOOR PLAN

Project number	Project Number
Date	10-10-2018
Drawn by	Antinea Noguera
Checked by	Arthur Choo Sr
EX-101	
Scale	

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Third Floor

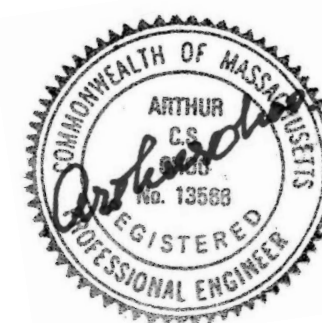


Second Floor

RESIDENTIAL REMODEL

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EXISTING SECOND & THIRD FLOOR PLAN

Project number	Project Number
Date	10-10-2018
Drawn by	Antinea Noguera
Checked by	Arthur Choo Sr.

EX-102

Scale